

# June 2016

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1	2	3	4
5	6	7 COUNCIL 7:30 CAUCUS 7:15 STREETS, STORM WATER, UTILITIES 6:00	8 PLANNING COMMISSION 7:00 CAUCUS 6:45	9	10	11
12	13 CIVIL SERVICE COMM 4:00 (COMMUNITY ROOM #2)	14	15	16	17	18
19 FATHER'S DAY 	20 	21 COUNCIL 7:30 CAUCUS 7:15 B&BC, FINANCE AND SAFETY 6:00	22 PLANNING COMMISSION 7:00 CAUCUS 6:45	23	24	25
26	27	28 REC BOARD 6:00	29	30 BZA 7:00 CAUCUS 6:45		

All meetings will be held at City Hall 14600 State Road, unless otherwise noted.

**NORTH ROYALTON CITY COUNCIL  
A G E N D A  
JUNE 7, 2016**

7:15 p.m. Caucus

Council Meeting 7:30 p.m.

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**REGULAR ORDER OF BUSINESS**

1. Call to Order.
2. Opening Ceremony (Pledge of Allegiance).
3. Roll Call.
4. Approval of Consent Agenda: Items listed under the Consent Agenda are considered routine. Each item will be read individually into the record and the Consent Agenda will then be enacted as a whole by one motion and one roll call. There will be no separate discussion of these items. If discussion by Council is desired on any Consent Agenda item, or if discussion is requested by the public on any legislative item on the Consent Agenda, that item will be removed from the Consent Agenda and considered in its normal sequence under the Regular Order of Business.
  - a. Approval of Minutes: May 17, 2016.
  - b. Authorize the Mayor and City Engineer to advertise for bids for the 2016 Road Program.
  - c. Receipt and acknowledgement without objection to Ohio Dept. of Liquor Control request for a new D5 permit for Matteos Restaurant LLC, 13570 Ridge Road.
  - d. Legislation: Introduce, suspend rules requiring 3 readings and referral to committee, and adopt those legislative items indicated with an asterisk (\*).
5. Communications.
6. Mayor's Report.
7. Department Head Reports.
8. President of Council's Report.
9. Committee Reports:

Building & Building Codes	John Nickell
Finance	Larry Antoskiewicz
Review & Oversight	Dan Kasaris
Safety	Gary Petrusky
Storm Water	Dan Langshaw
Streets	Steve Muller
Utilities	Paul Marnecheck
10. Report from Council Representatives to regulatory or other boards:

Board of Zoning Appeals	Dan Kasaris
Planning Commission	Larry Antoskiewicz
Recreation Board	Paul Marnecheck
11. Public Discussion: Five minute maximum, on current agenda legislation only.
12. LEGISLATION

**THIRD READING CONSIDERATION**

1. **16-83 - AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART SIX GENERAL OFFENSES CODE, CHAPTER 618 ANIMALS, SECTION 618.12 HUNTING PROHIBITED BY AUTHORIZING A NUISANCE ABATEMENT INITIATIVE FOR BOTH SHORT TERM AND LONG TERM CONTROL AND REDUCTION OF THE WHITE-TAILED DEER POPULATION IN COORDINATION WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES AND CONTIGUOUS, ADJOINING, POLITICAL SUBDIVISIONS THAT OPT TO ADOPT A SIMILAR PLAN FOR NUISANCE ABATEMENT, AND BY CREATING A NEW SECTION 618.125 ENTITLED RULES AND REGULATIONS FOR THE ISSUANCE OF A MUNICIPAL DEER DAMAGE CONTROL PERMIT, AND DECLARING AN EMERGENCY. First reading May 3, 2016 and referred to Safety Committee. Second reading May 17, 2016.**

2. **16-84** - AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART TWO ADMINISTRATION CODE, CHAPTER 214 GENERAL FEE SCHEDULE, SECTION 214.04 FEES IN THE GENERAL OFFENSES CODE BY CREATING A NEW PARAGRAPH (h), AND DECLARING AN EMERGENCY. **First reading May 3, 2016 and referred to Safety Committee. Second reading May 17, 2016.**

#### **FIRST READING CONSIDERATION**

- \* 1. **16-88** - A RESOLUTION ACKNOWLEDGING THE COMMUNITY SERVICE OF ROBERT DARROW.
- \* 2. **16-89** - A RESOLUTION ACKNOWLEDGING THE COMMUNITY SERVICE OF TIMOTHY TIGUE.
- \* 3. **16-90** - AN ORDINANCE ACCEPTING THE BID OF CARGILL INC. FOR ROAD SALT FOR THE 2016-2017 SEASON, AS THE LOWEST AND BEST BID, AND DECLARING AN EMERGENCY.
- \* 4. **16-91** - A RESOLUTION ADOPTING THE DOCUMENT CONTAINING THE ALTERNATIVE TAX BUDGET INFORMATION FOR THE CITY OF NORTH ROYALTON FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2017, AND SUBMITTING THE SAME TO THE AUDITOR OF CUYAHOGA COUNTY, OHIO, AND DECLARING AN EMERGENCY.
5. **16-92** - AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART 12 PLANNING AND ZONING CODE, CHAPTER 1264 BOARD OF ZONING APPEALS BY REPEALING SECTION 1264.10 NOTICE TO COUNCIL AND PLANNING COMMISSION OF BOARD DECISIONS, AND AMENDING SECTION 1264.11 APPEALS TO COURT, AND DECLARING AN EMERGENCY.
6. **16-93** - AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO AN AGREEMENT WITH MATRIX LLC AND BEST EQUIPMENT COMPANY FOR COMMUNITY REINVESTMENT AREA TAX INCENTIVES, AND DECLARING AN EMERGENCY.
7. **16-94** - AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART 14 BUILDING AND HOUSING CODE, BY CREATING A NEW CHAPTER 1485 RESIDENTIAL RENTAL FOR ONE, TWO AND THREE FAMILY DWELLING UNITS, AND AMENDING CHAPTER 214 GENERAL FEE SCHEDULE, SECTION 214.08 FEES IN THE BUILDING AND HOUSING CODE, AND DECLARING AN EMERGENCY.
8. **16-95** - AN ORDINANCE AUTHORIZING THE MAYOR TO REQUEST ADVANCE CREDITS FROM THE NORTH COAST REGIONAL COUNCIL OF PARK DISTRICTS FOR THE CITY OF NORTH ROYALTON FOR THE CREATION/RESTORATION OF FORESTED WETLANDS IMPACTED AS PART OF THE PROPOSED CEDAR ESTATES DETENTION BASIN PROJECT, AND DECLARING AN EMERGENCY.
13. Miscellaneous.
14. Adjournment.

RESOLUTION NO. 16-88

INTRODUCED BY: Antoskiewicz, Nickell, Petrusky, Langshaw,  
Marnecheck, Muller, Kasaris, Mayor Stefanik

A RESOLUTION ACKNOWLEDGING THE  
COMMUNITY SERVICE OF ROBERT DARROW

WHEREAS: Robert Darrow was hired as a part time Laborer I for the North Royalton Service Department on January 10, 1984; and

WHEREAS: Mr. Darrow was appointed to the position of full time Laborer I on February 13, 1984; and

WHEREAS: Mr. Darrow was promoted to the position of Laborer II on September 14, 1984 and held that position until his retirement on April 29, 2016; and

WHEREAS: The Council and the Mayor of the City of North Royalton wish to acknowledge Mr. Darrow for his community service.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA AND STATE OF OHIO, THAT:

Section 1. The Council and the Mayor of the City of North Royalton hereby acknowledge the community service of Robert Darrow.

Section 2. Council further recognizes the professionalism and dedication that Mr. Darrow has demonstrated through his work for the City of North Royalton and through his willingness and desire to better serve the community.

Section 3. The Director of Legislative Services is authorized and directed to forward a copy of this Resolution to Mr. Darrow in recognition of his many years of service to the community.

THEREFORE, provided this Resolution receives the affirmative vote of a majority of all members elected to Council, it shall take effect and be in force from and after the earliest period allowed by law.

\_\_\_\_\_  
PRESIDENT OF COUNCIL

APPROVED: \_\_\_\_\_  
MAYOR

DATE PASSED: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
DIRECTOR OF LEGISLATIVE SERVICES

YEAS:

NAYS:







June 1, 2016

Becki Riser  
Director of Purchasing  
City of Brecksville

Dear Mrs. Riser,

We are in receipt of the Brecksville Purchasing Consortium's Contract Renewal-Counter Offer-FINAL REVISED dated May 23, 2016, copy attached. Cargill Deicing Technology has reviewed the terms, conditions and pricing contained in your counter offer and find them acceptable and we are willing to proceed pursuant to the counter offer with a renewal for the period November 1, 2016-October 31, 2017.

It is our understanding that all consortium members, with the exception of Seven Hills, will proceed accordingly with their internal authorizations, approvals and agreements and submit those documents to Cargill in a timely manner. Once we receive that documentation from the consortium members the information will be entered in to our system.

We also understand that because Seven Hills is not renewing with Cargill, they will take the minimum obligation by the end of the contract. If Seven Hills does not take their minimums by end of the contract, Cargill will charge them a \$10 per ton storage fee and they will need to take the remaining tonnage by December 31, 2016. If the minimum tonnage is not taken by January 1, 2017, Seven Hills will be subject to a \$10 per ton per month storage fee until the minimum obligation is met. Cargill will invoice Seven Hills for the salt at the time of delivery.

As you know, Cargill and the Brecksville Purchasing consortium have had a long-standing relationship through the years and we value that partnership and your business. Cargill intends to continue delivering strong service and a reliable product. Thank you again.



Renewal Counter  
Offer-2016-FINAL 5-2

Sincerely,

*Tony*

Tony DiPietro  
Strategic Account Manager  
Cargill Deicing Technology

## Office of the Director of Purchasing

**TO:** Tony DiPietro, Cargill, Inc.  
**FROM:** Becki Riser, City of Brecksville  
**DATE:** May 23, 2016  
**RE:** Contract Renewal – Counter Offer-REVISED FINAL

This letter written on behalf of the Purchasing Consortium for Sodium Chloride provides the revised and final counter offer to the proposed contract renewal terms presented by Cargill, Inc. for the period of November 1, 2016 – October 31, 2017.

Terms of Counter Offer:

- Prices to remain the same.
- Revised Estimated Quantities from each member agency, not to exceed a 40% decrease from last year's estimated quantity. Those are as follows:

Beachwood	11,000	Independence	4,500
Brecksville	6,000	Lakewood	3,500
Broadview Heights	4,200	Middleburg Heights	3,600
Brooklyn	3,200	North Royalton	4,500
Brooklyn Heights	660	Valley View	<u>1,700</u>
Cuyahoga County	400		
		TOTAL	43,260*

*\*The City of Seven Hills has withdrawn their participation in the consortium.*

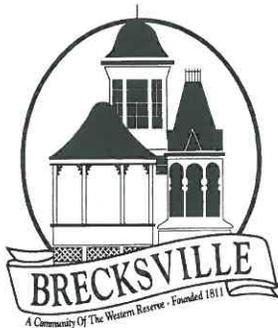
- No charge for storage of contractually required balances on current contract from November 1 through December 31, 2016. Orders for balances will be invoiced upon delivery. Situations where Cities have not accepted delivery of their full balance quantity by 12/31/16 will be addressed on a case-by-case basis by Cargill, and those Cities must be able to provide detail of an emergency circumstance. Delivery of contractually required quantities on the current contract will occur before new contract quantities that go into effect beginning November 1, 2016.
- Same terms of 80% minimum commitment/no maximum, and the same 24-72 delivery guarantee as outlined in 2015 bid specifications.

We appreciate Cargill's consideration and verbal acceptance of the above listed terms for the contract renewal, and look forward to receiving your confirmation letter at your earliest convenience.

Sincerely,



Becki Riser, Director of Purchasing  
City of Brecksville





# ALTERNATIVE TAX BUDGET INFORMATION

Political Subdivision/Taxing Unit **City of North Royalton**

For the Fiscal Year Commencing **January 1, 2017**

Fiscal Officer Signature *Eui Dean* Date 5/27/2016

## COUNTY OF CUYAHOGA

### Background

Substitute House Bill No. 129 (HB129) effective June 3, 2002, was enacted by the 124th General Assembly in part to allow a county budget commission to waive the requirement that a taxing authority adopt a tax budget for a political subdivision or other taxing unit, pursuant to Ohio Revised Code (ORC) Section 5705.281.

Under the law in effect prior to June 3, 2002, the budget commission could only waive the tax budget for a subdivision or other taxing unit that was receiving a share of the county undivided local government fund or the county undivided local government revenue assistance fund under an alternative method or formula pursuant to ORC Sections 5747.53 and 5747.63. Thus, tax budgets could be waived only for counties, municipalities, townships, and park districts. This restriction is now removed.

### Ohio Revised Code Section 5705.281

Under the amended version of this section pursuant to HB 129, a county budget commission, by an affirmative vote of a majority of the commission, including an affirmative vote by the county auditor, may waive the tax budget for any subdivision or other taxing unit. However, the commission may require the taxing authority to provide any information needed by the commission to perform its duties, including the division of the tax rates as provided under ORC Section 5705.04.

### County Budget Commission Duties

The county budget commission must still certify tax rates to each subdivision or other taxing unit, by March 1 for school districts and by September 1 for all other taxing authorities under ORC Section 5705.35, even when a tax budget is waived. Also, the commission is still required to issue an official certificate of estimated resources under ORC Section 5705.35 and amended official certificates of estimated resources under ORC Section 5705.36.

Therefore, when a budget commission is setting tax rates based on a taxing unit's need, for purposes of ORC Sections 5705.32, 5705.34, and 5705.341, its determination must be based on that other information the commission asked the taxing authority to provide under ORC Section 5705.281, when the tax budget was waived. Also, an official certificate must be based on that other information the commission asked the taxing authority to provide.

### County Budget Commission Action

On October 11, 2002, during the Cuyahoga County Budget Commission meeting, the commission with an affirmative vote of all members waived the requirement for taxing authorities of subdivisions or other taxing units (Including Schools) to adopt a tax budget as provided under ORC Section 5705.281, but shall require the filing of this Alternative Tax Budget Information document on an annual basis.

### Alternative Tax Budget Information Filing Deadline

For all political subdivisions excluding school districts, the fiscal officer must file one copy of this document with the County Fiscal Officer on or before July 20th. For school districts the fiscal officer must file one copy of this document with the County Fiscal Officer on or before January 20th.

# DIVISION OF TAXES LEVIED

(Levies Inside & Outside 10 Mill Limitation, Inclusive Of Debt Levies)  
(List All Levies Of The Taxing Authority)

**CITY OF NORTH ROYALTON**

**SCHEDULE 1**

I Fund	II Purpose	III Authorized By Voters On MM/DD/YY	IV Levy Type	V Number Of Years Levy To Run	VI Tax Year Begins/ Ends	VII Collection Year Begins/ Ends	VIII Maximum Rate Authorized	IX \$ Amount Requested Of Budget Commission
General Fund	Inside							\$1,311,000.00
Gen'l Bond Rtmt Fund	Inside							\$775,000.00
Police Pension Fund	Inside							\$270,000.00
Fire Pension Fund	Inside							\$270,000.00
Fire Levy Fund	Special	11/07/00	Replacem't	Continuous	2001/Cont	2002/Cont	.75 mills	\$583,000.00
Fire Levy Fund	Special	11/03/81	Replacem't	Continuous	1981/Cont	1982/Cont	1.00 mills	\$348,000.00
Police Levy Fund	Special	11/02/82	Replacem't	Continuous	1982/Cont	1983/Cont	1.00 mills	\$347,000.00
Police Levy Fund	Special	11/06/01	Replacem't	Continuous	2001/Cont	2002/Cont	1.25 mills	\$964,000.00
EMS Levy Fund	Special	05/06/08	Renewal	5	2013/2017	2014/2018	1.70 mills	\$900,000.00
<b>Totals</b>								<b>\$5,768,000.00</b>

# STATEMENT OF FUND ACTIVITY

(List All Funds Individually)

**CITY OF NORTH ROYALTON**

**SCHEDULE 2**

I	II	III	IV	V	VI	VII
Fund BY Type	Beginning Estimated Unencumbered Fund Balance	Property Taxes and Local Gov't Revenue	Other Sources Receipts	Total Resources Available For Expenditures	Total Estimated Expenditures & Encumbrances	Ending Estimated Unencumbered Balance
General Fund	1,400,000.00	1,311,000.00	12,500,000.00	15,211,000.00	14,000,000.00	1,211,000.00
General Bond Retirement Fund	500,000.00	775,000.00	1,500,000.00	2,775,000.00	2,300,000.00	475,000.00
EMS Levy Fund	10,000.00	900,000.00	1,625,000.00	2,535,000.00	2,530,000.00	5,000.00
Police Levy Fund	200,000.00	1,311,000.00	0.00	1,511,000.00	1,315,000.00	196,000.00
Fire Levy Fund	75,000.00	931,000.00	197,000.00	1,203,000.00	1,130,000.00	73,000.00
Police Pension Fund	1,000.00	270,000.00	303,000.00	574,000.00	574,000.00	0.00
Fire Pension Fund	1,000.00	270,000.00	405,000.00	676,000.00	676,000.00	0.00
DARE Fund	0.00	0.00	0.00	0.00	0.00	0.00
COPS Grant Fund	0.00	0.00	0.00	0.00	0.00	0.00
Enforcement & Education Fund	40,000.00	0.00	10,000.00	50,000.00	10,000.00	40,000.00
Drug Law Enforcement Fund	220.00	0.00	0.00	220.00	0.00	220.00
Police Facility Fund	10,000.00	0.00	850,000.00	860,000.00	855,000.00	5,000.00
Law Enforcement Trust Fund	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00
Motor Vehicle License Tax Fund	50,000.00	0.00	225,000.00	275,000.00	230,000.00	45,000.00

# STATEMENT OF FUND ACTIVITY

(List All Funds Individually)

**CITY OF NORTH ROYALTON**

**SCHEDULE 2**

I Fund BY Type	II Beginning Estimated Unencumbered Fund Balance	III Property Taxes and Local Gov't Revenue	IV Other Sources Receipts	V Total Resources Available For Expenditures	VI Total Estimated Expenditures & Encumbrances	VII Ending Estimated Unencumbered Balance
SCMR Fund	250,000.00	0.00	4,500,000.00	4,750,000.00	4,500,000.00	250,000.00
State Highway Fund	50,000.00	0.00	95,000.00	145,000.00	140,000.00	5,000.00
City Income Tax Fund	100,000.00	0.00	375,000.00	475,000.00	400,000.00	75,000.00
Recycling Grant Fund	5,000.00	0.00	0.00	5,000.00	2,000.00	3,000.00
FEMA Grant Fund	0.00	0.00	0.00	0.00	0.00	0.00
Office on Aging Fund	10,000.00	0.00	200,000.00	210,000.00	200,000.00	10,000.00
Court Computer Services Fund	50,000.00	0.00	10,000.00	60,000.00	25,000.00	35,000.00
Community Diversion Fund	35,000.00	0.00	2,000.00	37,000.00	17,500.00	19,500.00
Cemetery Maintenance & Improvement Fund	18,000.00	0.00	5,000.00	23,000.00	10,000.00	13,000.00
Enterprise Zone Fund	10,000.00	0.00	0.00	10,000.00	1,000.00	9,000.00
Compensated Absences Fund	450,000.00	0.00	50,000.00	500,000.00	150,000.00	350,000.00
Special Assessment Bond Retirement Fund	500,000.00	0.00	200,000.00	700,000.00	250,000.00	450,000.00
Recreation Capital Improvement Fund	50,000.00	0.00	15,000.00	65,000.00	20,000.00	45,000.00
Future Capital Improvement Fund	2,400,000.00	0.00	200,000.00	2,600,000.00	800,000.00	1,800,000.00

# STATEMENT OF FUND ACTIVITY

(List All Funds Individually)

**CITY OF NORTH ROYALTON**

**SCHEDULE 2**

I Fund BY Type	II Beginning Estimated Unencumbered Fund Balance	III Property Taxes and Local Gov't Revenue	IV Other Sources Receipts	V Total Resources Available For Expenditures	VI Total Estimated Expenditures & Encumbrances	VII Ending Estimated Unencumbered Balance
Storm Sewer Drainage Fund	400,000.00	0.00	1,000,000.00	1,400,000.00	1,000,000.00	400,000.00
Fire Capital Improvement Fund	400,000.00	0.00	300,000.00	700,000.00	350,000.00	350,000.00
Route 82 Widening Fund	348,000.00	0.00	0.00	348,000.00	150,000.00	198,000.00
Issue 1 - Bennett Road	6,800.00	0.00	1,000,000.00	1,006,800.00	1,000,000.00	6,800.00
Edgerton Road Waterline Fund	0.00	0.00	0.00	0.00	0.00	0.00
Excessive Load Fund	38,000.00	0.00	1,000.00	39,000.00	1,000.00	38,000.00
Water Main Fund	50,000.00	0.00	800,000.00	850,000.00	800,000.00	50,000.00
York Road Sewer Improvement Fund	0.00	0.00	0.00	0.00	0.00	0.00
YMCA Capital Improvement Fund	0.00	0.00	0.00	0.00	0.00	0.00
Wastewater Treatment Fund	1,400,000.00	0.00	3,500,000.00	4,900,000.00	3,500,000.00	1,400,000.00
Wastewater Maintenance Fund	10,000.00	0.00	1,450,000.00	1,460,000.00	1,400,000.00	60,000.00
Wastewater Debt Service Fund	250,000.00	0.00	1,400,000.00	1,650,000.00	1,400,000.00	250,000.00
Wastewater Repair & Replacement Fund	650,000.00	0.00	100,000.00	750,000.00	100,000.00	650,000.00
Improvement Holding Fund	300,000.00	0.00	50,000.00	350,000.00	50,000.00	300,000.00

# STATEMENT OF FUND ACTIVITY

(List All Funds Individually)

**CITY OF NORTH ROYALTON**

**SCHEDULE 2**

I	II	III	IV	V	VI	VII
Fund BY Type	Beginning Estimated Unencumbered Fund Balance	Property Taxes and Local Gov't Revenue	Other Sources Receipts	Total Resources Available For Expenditures	Total Estimated Expenditures & Encumbrances	Ending Estimated Unencumbered Balance
OBBS Fund	500.00	0.00	1,000.00	1,500.00	1,100.00	400.00
Building Construction Bond Fund	200,000.00	0.00	10,000.00	210,000.00	20,000.00	190,000.00
Office on Aging Trust Fund	10,000.00	0.00	10,000.00	20,000.00	12,000.00	8,000.00
Unclaimed Funds	7,600.00	0.00	0.00	7,600.00	1,000.00	6,600.00

# UNVOTED GENERAL OBLIGATION DEBT

(Include General Obligation Debt To Be Paid From Inside/Charter Millage Only)

(Do Not Include General Obligation Debt Being Paid By Other Sources)

(Do Not Include Special Obligation Bonds & Revenue Bonds)

## CITY OF NORTH ROYALTON

## SCHEDULE 3

I Purpose Of Bonds Or Notes	II Date Of Issue	III Final Maturity Date	IV Principal Amount Outstanding At The Beginning Of The Calendar Year	V Amount Required To Meet Calendar Year Principal & Interest Payments	VI Amount Receivable From Other Sources To Meet Debt Payments
Wallings Road Water & Sewer	1995	12/01/2020	\$60,000.00	\$18,750.00	\$10,393.00
Royalwood & James/Julia	1998	12/01/2018	\$128,000.00	\$35,680.00	\$33,896.00
Industrial Park, Phase 2	2003	12/01/2023	\$520,000.00	\$86,680.00	\$83,920.00
Bunker/Ridgedale Waterline Replacement	2006	01/01/2026	\$247,990.00	\$26,106.00	\$0.00
Various Purpose Street Bonds-Unrefunded Portio	2008	12/01/2019	\$925,000.00	\$337,781.00	\$16,511.00
Street & Storm Sewer Bonds	2012	12/01/2026	\$4,230,000.00	\$422,475.00	\$0.00
Various Purpose Refunding Bonds	2014	12/1/2025	\$2,098,000.00	\$269,303.00	\$0.00
YMCA Bonds	2014	12/1/2035	\$7,215,000.00	\$566,137.50	\$521,375.00
Various Purpose/Refunding Bonds	2015	12/1/2035	\$8,020,000.00	\$540,421.51	\$22,912.50
<b>Totals</b>			<b>\$23,443,990.00</b>	<b>\$2,303,334.01</b>	<b>\$689,007.50</b>



AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART 12 PLANNING AND ZONING CODE, CHAPTER 1264 BOARD OF ZONING APPEALS BY REPEALING SECTION 1264.10 NOTICE TO COUNCIL AND PLANNING COMMISSION OF BOARD DECISIONS, AND AMENDING SECTION 1264.11 APPEALS TO COURT, AND DECLARING AN EMERGENCY

WHEREAS: Section 1264.10 states that upon issuance by the Board of Zoning Appeals of any ruling, determination or order, the Secretary of the Board shall send, within three days of the date of such ruling, determination or order, a copy thereof to the Director of Legislative Services and to the Secretary of the Planning Commission, who shall present such report at the next regular meeting; and

WHEREAS: It has been determined that this procedure is an unnecessary course of action for the performance of departmental duties; and

WHEREAS: It has also been determined necessary to amend Section 1264.11 in order to reestablish the time frame for the filing of an appeal regarding a decision made by the Board of Zoning Appeals; and

WHEREAS: It is therefore necessary to amend the Codified Ordinances of the City of North Royalton, Part 12 Planning and Zoning Code, Chapter 1264 Board of Zoning Appeals by repealing Section 1264.10 Notice to Council and Planning Commission of Board Decisions, and amending Section 1264.11 Appeals to Court; and

WHEREAS: Council desires to provide for these amendments.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA AND STATE OF OHIO, THAT:

Section 1. The Codified Ordinances of the City of North Royalton, Chapter 1264 Board of Zoning Appeals, Section 1264.10 Notice to Council and Planning Commission of Board Decisions is hereby deleted in its entirety as indicated below:

~~1264.10 NOTICE TO COUNCIL AND PLANNING COMMISSION OF BOARD DECISIONS.  
——— Upon issuance by the Board of Zoning Appeals of any ruling, determination or order, the Secretary of the Board shall send, within three days of the date of such ruling, determination or order, a copy thereof to the Director of Legislative Services and to the Secretary of the Planning Commission, who shall present such report at the next regular meeting.~~

Section 2. The Codified Ordinances of the City of North Royalton, Chapter 1264 Board of Zoning Appeals, Section 1264.11 Appeals to Court is hereby amended to hereinafter read as follows:

1264.11 APPEALS TO COURT.  
A person aggrieved by a decision of the Board of Zoning Appeals may, within ~~ten~~ **thirty** days after the filing of such decision, appeal to the Court of Common Pleas of Cuyahoga County under Ohio R.C. Chapter 2506.

Section 3. Chapter 1264 is hereby amended as provided for herein and all other provisions of this chapter shall remain in full force and effect.

Section 4. This Ordinance shall supersede all previously adopted ordinances in direct conflict herewith.

Section 5. It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements.

Section 6. This Ordinance is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of the city, and for the further reason that it is immediately necessary to amend Chapter 1264 Board of Zoning Appeals in order to update language for better departmental performance.





## **COMMUNITY REINVESTMENT AREA AGREEMENT - SAMPLE AGREEMENT**

This agreement made and entered into by and between the **City of North Royalton**, Ohio, a municipal corporation, with its main office located at 14600 State Road, North Royalton, Ohio (hereinafter referred to as “City” and **Matrix LLC**, an Indiana limited liability company with its main offices located at 5550 Poindexter Drive Indianapolis, Indiana 46235, hereinafter referred to as "property owner") and **Best Equipment Company of Ohio LLC**, an Indiana limited liability company with its main offices located at 12359 Abbey Road, North Royalton, Ohio (hereinafter referred to as “tenant”).

WITNESSETH;

WHEREAS, City of North Royalton has encouraged the development of real property and the acquisition of personal property located in the area designated as a Community Reinvestment Area; and

WHEREAS, Matrix LLC is desirous of purchasing 6 acre parcel and constructing a new (21,000 sf) twenty-one thousand square foot office warehouse facility to facilitate Best Equipment Company’s expansion of services and products, see exhibit A, attached and incorporated herein, (hereinafter referred to as the "PROJECT") within the boundaries of the aforementioned Community Reinvestment Area, provided that the appropriate development incentives are available to support the economic viability of said PROJECT; and

WHEREAS, the Council of North Royalton, Ohio by Ordinance No. 15-34 adopted on March 3, 2015, designated the area as an "Community Reinvestment Area" pursuant Chapter 3735 of the Ohio Revised Code; and

WHEREAS, effective June 9, 2015, the Director of Development of the State of Ohio determined that the aforementioned area designated in said Ordinance 15-34 contained the characteristics set forth in Section 3735.66 of the Ohio Revised Code and confirmed said area as a Community Reinvestment Area under said Chapter 3735; and

WHEREAS, City of North Royalton having the appropriate authority for the stated type of project, is desirous of providing Matrix LLC with incentives available for the development of the PROJECT in said Community Reinvestment Area under Chapter 3735 of the Ohio Revised Code; and

WHEREAS, Matrix LLC submitted a proposed agreement application (herein attached and incorporated as Exhibit B) to City of North Royalton said application (hereinafter referred to as "APPLICATION"); and

WHEREAS, Matrix LLC has remitted the required state application fee of \$750.00 made payable to the Ohio Department of Development with the application to be forwarded to said department with a copy of the final agreement; and

WHEREAS, the City of North Royalton has investigated the application of Matrix LLC and has recommended the same to the Council of City of North Royalton on the basis that Matrix LLC is qualified by financial responsibility and business experience to create and preserve employment opportunities in said Community Reinvestment Area and improve the economic climate of the City of North Royalton; and

WHEREAS, the project site as proposed by Matrix, LLC is located in the North Royalton School District and the Cuyahoga Joint Vocational School District and the Board of Education of the North Royalton School District and the Cuyahoga Joint Vocational School District has been notified in accordance with Section 5709.83 and been given a copy of the application; and

WHEREAS, pursuant to Section 3735.67(A) and in conformance with the format required under Section 3735.671(B) of the Ohio Revised Code, the parties hereto desire to set forth their agreement with respect to matters hereinafter contained;

NOW, THEREFORE, in consideration of the mutual covenants hereinafter contained and the benefit to be derived by the parties from the execution hereof, the parties herein agree as follows:

1. Matrix LLC shall purchase 6 acres and construct a new twenty-one thousand square foot facility at vacant parcels PPN#s 483-05-003 and 483-06-023, North Royalton, Ohio, to house its office, distribution and service operation and expansion of its product. Said facility shall be constructed on PPN#s 483-05-003 and 483-06-023, as specifically set forth in Exhibit A, or as may be modified and approved by the North Royalton Planning Commission. A copy of the legal description of the property is attached and incorporated herein, Exhibit B.

In addition, Matrix LLC and/or Best Equipment Company will purchase and install new machinery and equipment including but not limited to \_\_\_\_\_.

The PROJECT will involve a total investment by Matrix, LLC and/or Best Equipment Company of one million eight hundred thirty thousand dollars (\$1,830,000), plus or minus 10%, at the PPN 483-05-003 and 483-06-023. Included in this investment are one million seven hundred thousand dollars for construction of the facility (\$1,700,000), fifty thousand dollars (\$ 50,000) to purchase machinery and equipment and fifty thousand dollars (\$50,000) for new inventory.

The PROJECT will begin June 20, 2016 and all acquisition, construction and installation will be completed by January 1, 2017.

2. Matrix LLC and/or Best Equipment Company shall create within a time period not exceeding 12 months after the commencement of construction of the aforesaid facility, equivalent of one (1) new full-time permanent job opportunities, and one (1) additional new full-time permanent job opportunity every year for five (5) years.

Matrix LLC and/or Best equipment will retain the nine (9) existing full-time jobs currently located at 12359 Abbey Road, North Royalton at the project facility.

Matrix LLC and/or Best Equipment Company schedule for hiring is as follows: create 1 new jobs in year one; 1 new full-time permanent job in year two; 1 new full-time permanent job in year three; 1 new full-time permanent job in year four; 1 new full time permanent job in year five. The job create period begins January 31, 2017 and all jobs will be in place by January 31, 2021.

Matrix LLC and/or Best Equipment Company currently have nine (9) full-time permanent employees at 12359 Abbey Road, North Royalton. In total Matrix, LLC and/or Best Equipment Company has \_\_\_\_\_ full-time permanent employees, part-time permanent employees, full-time temporary employees, and part-time temporary employees in the State of Ohio.

This increase in the number of employees will result in approximately one hundred eighty thousand dollars (\$180,000) of additional annual payroll for Matrix LLC and/or Best Equipment Company for new full-time permanent jobs. The retention of the existing jobs will maintain the current annual payroll of five hundred seventy four thousand dollars (\$574,000).

3. Matrix, LLC shall provide to the proper Tax Incentive Review Council any information reasonably required by the council to evaluate the property owner's compliance with the agreement, including returns filed pursuant to section 5711.02 of the Ohio Revised Code if requested by the council.
4. City of North Royalton hereby grants Matrix LLC a tax exemption for real property improvements made to the PROJECT site pursuant to Section 3735.67 of the Ohio Revised Code and shall be in the following amounts:

Exemption Term-15 years	Percentage of Exemption-49%
-------------------------	-----------------------------

Each identified project improvement will receive a 15 year exemption period. The exemption commences the first year for which the Real Property exemption would first be taxable were that property not exempted from taxation. No exemption shall commence after January 1, 2018 nor extend beyond December 31, 2033.

Matrix LLC must file the appropriate tax forms with the County Auditor to effect and maintain the exemptions covered in the agreement.

5. Matrix LLC shall pay an annual fee equal to the greater of one percent of the dollar value of incentives offered under the agreement or five hundred dollars: provided, however, that if the value of the incentives exceeds two hundred fifty thousand dollars, the fee shall not exceed two thousand five hundred dollars.

The fee shall be made payable to the City of North Royalton once per year for each year the agreement is effective on the days and by certified check. The fee is to be paid to the finance director and made out to City of North Royalton. This fee shall be deposited in a special fund created for such purpose and shall be used exclusively for the purpose of complying with section 3735.671(D) of the revised code and by the tax incentive review council created under section 3735.671(D) of the revised code exclusively for the purposes of performing the duties prescribed under that section.

6. Matrix LLC shall pay such real and tangible personal property taxes as are not exempted under this agreement and are charged against such property and shall file all tax reports and returns as required by law. If Matrix, LLC fails to pay such taxes or file such returns and reports, all incentives granted under this agreement are rescinded beginning with the year for which such taxes are charged or such reports or returns are required to be filed and thereafter."
7. City of North Royalton shall perform such acts as are reasonably necessary or appropriate to effect, claim, reserve, and maintain exemptions from taxation granted under this agreement including, without limitation, joining in the execution of all documentation and providing any necessary certificates required in connection with such exemptions."
8. If for any reason the Community Reinvestment Area designation expires, the Director of the Ohio Department of Development revokes certification of the zone, or City of North Royalton revokes the designation of the zone, entitlements granted under this agreement shall continue for the number of years specified under this agreement, unless Matrix LLC materially fails to fulfill its obligations under this agreement and City of North Royalton terminates or modifies the exemptions from taxation granted under this agreement.
9. If Matrix LLC materially fails to fulfill its obligations under this agreement, or if City of North Royalton determines that the certification as to delinquent taxes required by this agreement is fraudulent, City of North Royalton may terminate or modify the exemptions from taxation granted under this agreement and may require the repayment of the amount of taxes that would have been payable had the property not been exempted from taxation under this agreement."
10. Matrix LLC hereby certifies that at the time this agreement is executed, Matrix, LLC does not owe any delinquent real or tangible personal property taxes to any taxing authority of the State of Ohio, and does not owe delinquent taxes for which Matrix, LLC is liable under Chapter 5733., 5735., 5739., 5741., 5743., 5747., or 5753. of the Revised Code, or, if such delinquent taxes are owed, Matrix, LLC currently is paying the delinquent taxes pursuant to an undertaking enforceable by the State of Ohio or an agent or instrumentality thereof, has filed a petition in bankruptcy under 11 U.S.C.A. 101, et seq., or such a petition has been filed against Matrix, LLC. For the purposes of the certification, delinquent taxes are taxes that remain unpaid on the latest day prescribed for payment without penalty under the chapter of the Revised Code governing payment of those taxes.

11. Matrix LLC affirmatively covenants that it does not owe: (1) any delinquent taxes to the State of Ohio or a political subdivision of the State; (2) any moneys to the State or a state agency for the administration or enforcement of any environmental laws of the State; and (3) any other moneys to the State, a state agency or a political subdivision of the State that are past due, whether the amounts owed are being contested in a court of law or not.
12. Matrix LLC and City of North Royalton acknowledge that this agreement must be approved by formal action of the legislative authority of City of North Royalton as a condition for the agreement to take effect. This agreement takes effect upon such approval.
13. City of North Royalton has developed a policy to ensure recipients of Community Reinvestment Area tax benefits practice non-discriminating hiring in its operations. By executing this agreement, Matrix LLC and/or Best Equipment Company is committing to following non-discriminating hiring practices acknowledging that no individual may be denied employment solely on the basis of race, religion, sex, disability, color, national origin, or ancestry.
14. Exemptions from taxation granted under this agreement shall be revoked if it is determined that Matrix LLC and/or Best Equipment Company, any successor property owner, or any related member (as those terms are defined in Section 3735.671 of the Ohio Revised Code) has violated the prohibition against entering into this agreement under Division (E) of Section 3735.671 or Section 5709.62 or 5709.63 of the Ohio Revised Code prior to the time prescribed by that division or either of those sections.
15. Matrix LLC and/or Best Equipment Company affirmatively covenants that it has made no false statements to the State or local political subdivisions in the process of obtaining approval of the Community Reinvestment Area incentives. If any representative of Matrix LLC and/or Best Equipment Company has knowingly made a false statement to the State or local political subdivision to obtain the Community Reinvestment Area incentives, Matrix LLC shall be required to immediately return all benefits received under the Community Reinvestment Area Agreement pursuant ORC Section 9.66(C)(2) and shall be ineligible for any future economic development assistance from the State, any state agency or a political subdivision pursuant to ORC Section 9.66(C)(1). Any person who provides a false statement to secure economic development assistance may be guilty of falsification, a misdemeanor of the first degree, pursuant to ORC Section 2921.13(D)(1), which is punishable by a fine of not more than \$1,000 and/or a term of imprisonment of not more than six months.
16. This agreement is not transferable or assignable without the express, written approval of City of North Royalton.

IN WITNESS WHEREOF, the City of North Royalton Ohio, by Mayor Robert Stefanik, its Mayor, and pursuant to Ordinance No. 16-93, has caused this instrument to be executed this \_\_\_\_ day of June, 2016 and Matrix, LLC by Mike Dahlmann, its Owner/President has caused this instrument to be executed on this \_\_\_\_\_ day of June, 2016 and Best Equipment Company LLC by Mike Dahlmann, its Owner/President has caused this instrument to be executed on this \_\_\_\_ day of June, 2016.

Approved as to form:

\_\_\_\_\_  
Law Director

City of North Royalton

By: \_\_\_\_\_  
Mayor Robert Stefanik  
Title: Mayor

Matrix, LLC

By: \_\_\_\_\_  
Title: \_\_\_\_\_

Best Equipment Company

By: \_\_\_\_\_  
Title: \_\_\_\_\_

Note: A copy of this agreement must be forwarded to the Ohio Department of Development within fifteen (15) days of finalization.



# City of North Royalton

Mayor Robert A. Stefanik

Community Development, Building Division

Dan Kulchytsky Building Commissioner

11545 Royalton Road, North Royalton, OH 44133

Fax: 440-582-3089

Phone: 440-582-3000

## CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

1. This request is made for the following property:

VACANT LAND

Address

483-05-003

Permanent Parcel Number

BEST EQUIPMENT COMPANY

Occupant, Business or Tenant (if applicable)

GI (GENERAL INDUSTRIAL)

Zoning District and Ward

2. Property Owner:

MATRIX LLC

Name

5500 POINDEXTER DRIVE

Address

INDIANAPOLIS, IN 46235

City, State and Postal Code

BEST EQUIPMENT COMPANY

Name of Business (if applicable)

317-823-3050

Phone

Email (electronic mail)

3. This request is being made by the following responsible party (Owner / Authorized Representative):

DAVID A. AULGER

Name

1159 BLACHLEYVILLE ROAD

Address

WOOSTER OHIO 44691

City, State and Postal Code

CAMPBELL CONSTRUCTION

Name of Business (if applicable)

330-262-5186

Phone

david@campbell-construction.com

Email (electronic mail)

### For Office Use Only

5-20-16

Date Application Submitted

6-22-16

Meeting Date Assigned

\$ 400.00

Application Fee

Identification Number Assigned

ck # 58216

Payment Information (date, check number, cash, etc.)

DAV

Application Fee Received By

Other Application Fee Information



CITY OF NORTH ROYALTON PLANNING COMMISSION APPLICATION

4. Narrative statement describing the project and its features:

PROJECT TO BE A 21,000 SF (+/-) NEW FACILITY FOR BEST EQUIPMENT COMPANY, A COMPANY THAT SELLS, SERVICES, AND DISTRIBUTES REFUSE, SWEEPING, AND STORM WATER TRUCKS AND EQUIPMENT.

BEST EQUIPMENT COMPANY HEADQUARTERED IN INDIANAPOLIS, INDIANA, ALREADY HAS A PRESENCE IN N. ROYALTON IN A LEASED FACILITY ON ABBEY ROAD. THIS WILL BE A NEW FACILITY FOR THEM.

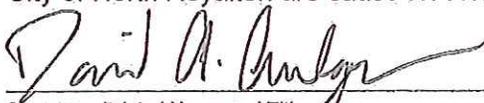
CURRENTLY THE PROPERTY IS VACANT LAND LOCATED ON YORK DELTA DRIVE.

BUILDING WILL HAVE A SHOP WITH 8 WORK BAYS AND ONE WASH BAY, A PARTS WAREHOUSE AND PARTS SALES AREA AND SUPPORTING OFFICE SPACE, AND WILL HAVE APPROXIMATELY 15-20 EMPLOYEES.

Lot Consolidation of 483-05-023 and 483-05-003.

The Planning Commission or its agent(s) is hereby authorized to enter upon the property for which this approval is sought, without further notification, to inspect said property. Any such inspection shall be conducted between the hours of 9 a.m. and 5 p.m. on any day of the week, including weekends.

I further understand that any misrepresentation of data or facts or violations of the Ordinances of the City of North Royalton are cause for refusal, suspension or revocation of this license if issued.

  
Signature, Printed Name and Title  
DAVID A. AUGER, ARCHITECT

05/20/16  
Date



☐ Indiana : 5550 Poindexter Drive Indianapolis, Indiana 46235  
(317) 823-3050 ♦ (800) 372-2378 ♦ fax (317) 823-3060

☐ Ohio : 12359 Abbey Road North Royalton, Ohio 44133  
(440) 237-3515 ♦ (888) 323-2378 ♦ fax (440) 237-3765

Public Works/Municipal/Contractor Equipment Specialists  
Sales ♦ Parts ♦ Service ♦ Leasing ♦ Financing  
Serving Indiana, Ohio, Kentucky & West Virginia

May 19, 2016

City of North Royalton

Building and Planning Department

11545 Royalton Road  
North Royalton, Ohio 44133  
440-582-3000  
440-582-3089 Fax

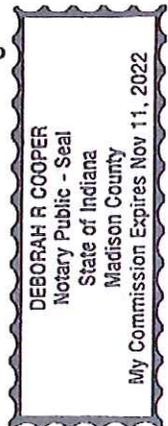
Re: Property located on York Delta Drive in North Royalton, Ohio 44133, owned by Matrix LLC.  
(Future tenant: Best Equipment Co Inc.), consisting of approx. 6.0851 acres of land, known as  
Cuyahoga County Auditor's permanent parcel #483-05-003 and 483-06-023 with all easements  
and appurtenant rights and privileges.

Dear Sir or Madam:

Please consider this letter as our formal authorization to allow Campbell Construction Inc. to  
act as our agent for purposes of making various submittals for zoning, planning commission,  
plan review, building permits and other jurisdictional approvals as needed.

Thank you for your time and attention to this matter.

Sincerely,



\_\_\_\_\_  
Matrix LLC-Mike Dahlmann -Member  
  
\_\_\_\_\_  
Best Equipment Company Inc

Mike Dahlmann-President

\_\_\_\_\_  
Matrix LLC Maria Dahlmann-Member  
  
\_\_\_\_\_  
Best Equipment Company Inc.

Maria Dahlmann-Secretary Treasurer

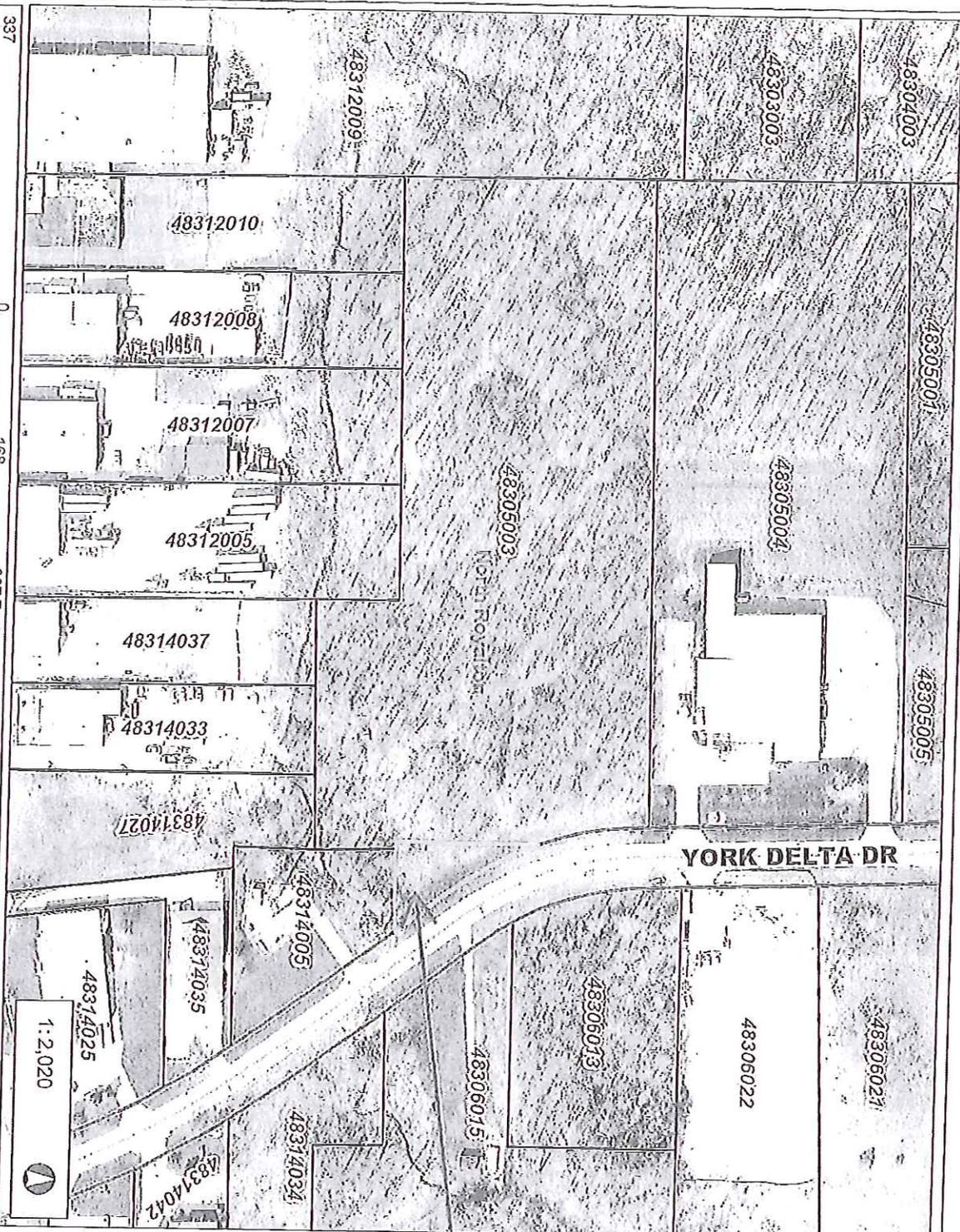
5-19-16

**You deserve the BEST**

♦ Solid Waste ♦ Recycling ♦ Street Sweepers ♦ Litter Control ♦ Compost ♦ Yard Waste Collection ♦ Sewer Cleaners ♦ Catch Basin Cleaners ♦  
[www.bestequipmentco.com](http://www.bestequipmentco.com)



# Cuyahoga MyPLACE - PPN 483-05-023 Exhibit



Projection:  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

**YORK DELTA DR**

OPEN ROYALTY

1:2,020



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



Date Created: 5/31/2016

**Legend**

- Cuyahoga County Facility
- Point Parcels
- Right Of Way
- Platted Centerlines
- Parcels
- Municipalities

Per County Records:  
PPN 483-05-023  
(~0.1791 Ac.)

**CUYAHOGA COUNTY**  
**GIS** GEOGRAPHICAL  
INFORMATION  
SYSTEMS



THE OIL AND GAS PRODUCERS  
 UNDERGROUND PROTECTION SERVICE  
 PHONE (814) 327-0486 OR  
 CALL TOLL FREE 800-975-0988  
 2 WORKING DAYS  
 BEFORE YOU DIG  
 CALL TOLL FREE 800-362-2764

LOT SIZE 6.0061 ACRES  
 BENCHMARKS  
 DIM. A, X OR EAST RIM  
 ELEV. = 804.04'  
 DIM. B, X OR EAST RIM  
 ELEV. = 804.14'  
 DIM. C, X OR EAST RIM  
 ELEV. = 804.24'

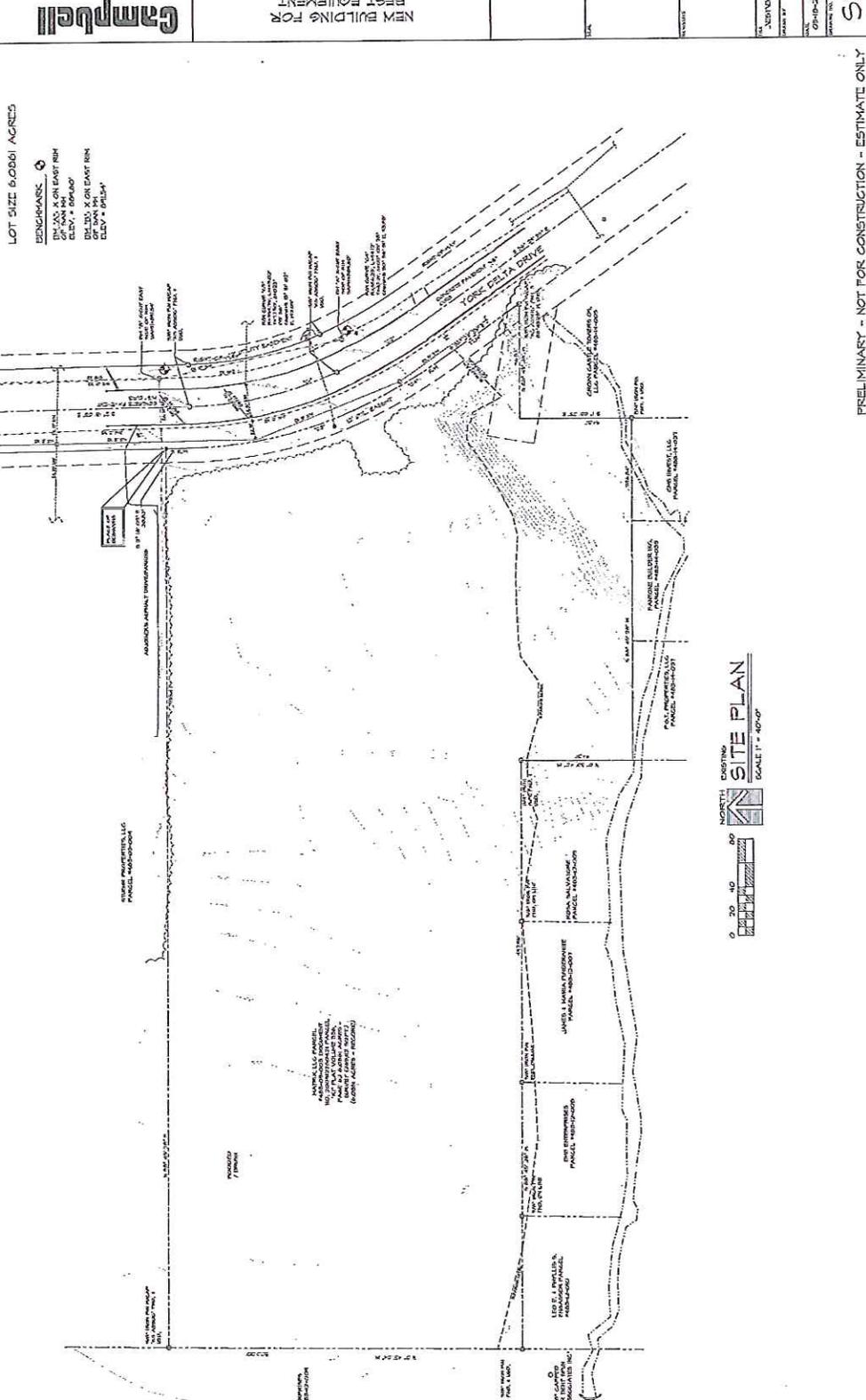
CONSTRUCTION SERVICES  
 CONSTRUCTION MANAGEMENT  
 FACILITIES MAINTENANCE  
 DESIGN-BUILD SPECIALISTS • SINCE 1959  
**Campbell**  
 CONSTRUCTION

159 E. CLEVELAND RD. WOODSTER, OH 44281  
 330/233-9185  
 330/233-9785  
 17400 BRYNE DR. WADSWORTH, OH 44281

NEW BUILDING FOR  
 BEST EQUIPMENT  
 NORTH ROYALTON, OHIO 44133

SD-1  
 SHEET NO.  
 01/10/2016  
 159 E. CLEVELAND RD. WOODSTER, OH 44281

PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY



NORTH  
 CASTING  
**SITE PLAN**  
 SCALE 1" = 40'-0"



PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY

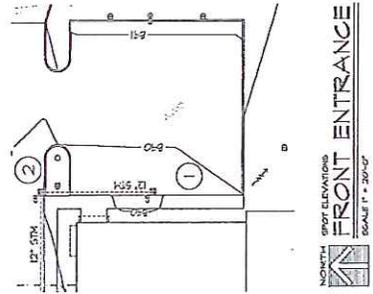
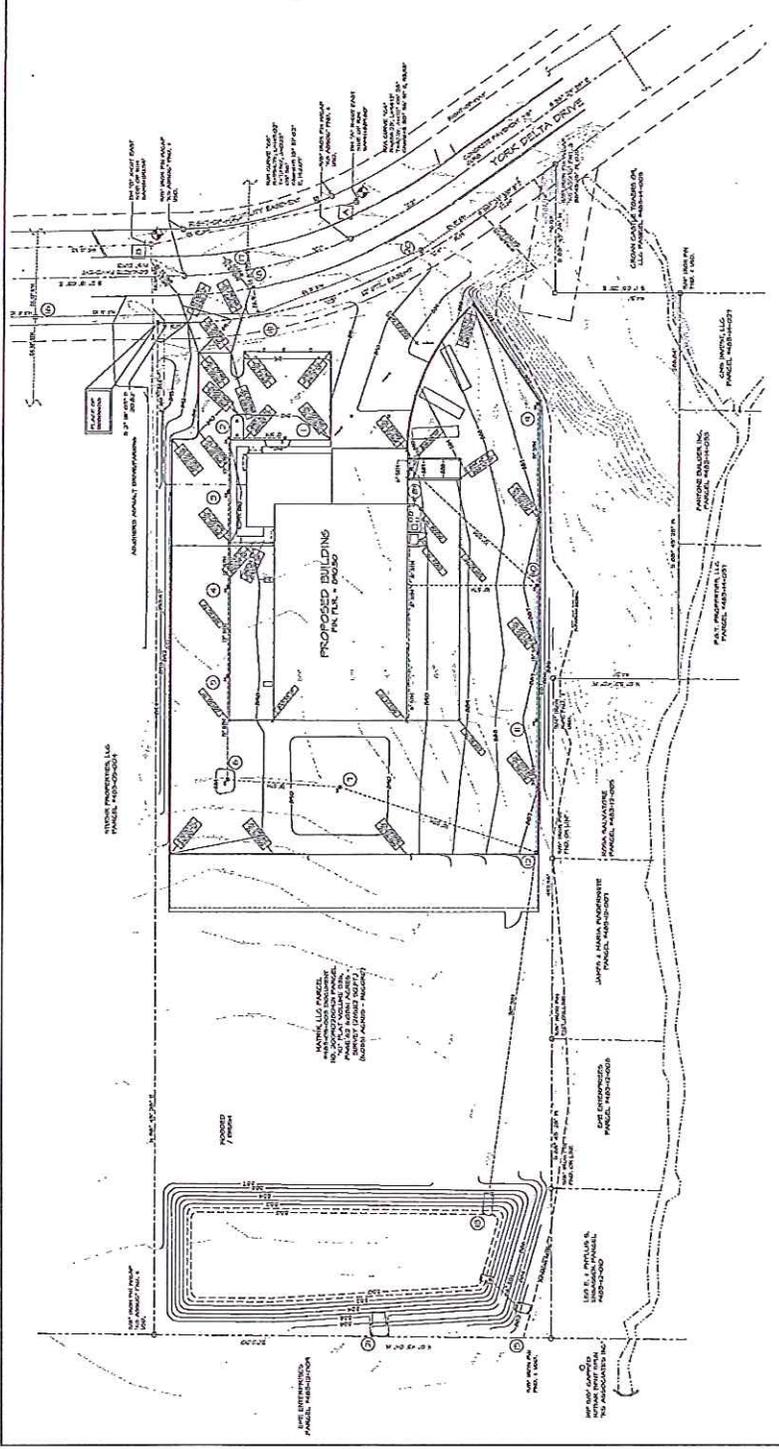
**Gampbell CONSTRUCTION**  
 CONSTRUCTION SERVICES  
 CONSTRUCTION MANAGEMENT  
 FACILITIES MAINTENANCE  
 DESIGN CONSULTANTS • SINCE 1953

1155 BLAGSHLEVILLE RD WOODSTOCK, OH 44281  
 330/262-9189  
 330/262-9189

**NEW BUILDING FOR BEST EQUIPMENT**  
 YORK DELTA DRIVE  
 NORTH ROYALTON, OHIO 44133

THE 51 AND 605 PROHIBIT CENTER UNDERGROUND STORAGE TANKS. CALL TOLL FREE 800-925-0988 FOR MORE INFORMATION. 2 WORKING DAYS BEFORE YOU DIG. CALL TOLL FREE 800-362-7164 FOR MORE INFORMATION.

LOT SIZE 6.0561 ACRES  
 BENCHMARK: 1/4" = 100' HORIZ. DIST. 1/8" = 10' VERT. DIST.  
 D.M. 300.0 ± ON EAST RM. 1/4" = 100' HORIZ. DIST. 1/8" = 10' VERT. DIST.  
 D.M. 300.0 ± ON EAST RM. 1/4" = 100' HORIZ. DIST. 1/8" = 10' VERT. DIST.



**STORM SEWER STRUCTURE SCHEDULE**

- 1 18" PIPE CATCH BASIN  
INLET: 18" DIA. 10' SPAN  
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- 2 18" PIPE CATCH BASIN  
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- 8 18" PIPE CATCH BASIN  
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- 14 18" PIPE CATCH BASIN  
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INLET: 18" DIA. 10' SPAN

**STORM SEWER SCHEDULE**

- 1 18" 4.50' 12' 0.75%
- 2 18" 4.50' 12' 0.75%
- 3 18" 4.50' 12' 0.75%
- 4 18" 4.50' 12' 0.75%
- 5 18" 4.50' 12' 0.75%
- 6 18" 4.50' 12' 0.75%
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- 10 18" 4.50' 12' 0.75%
- 11 18" 4.50' 12' 0.75%
- 12 18" 4.50' 12' 0.75%
- 13 18" 4.50' 12' 0.75%
- 14 18" 4.50' 12' 0.75%



**SANITARY SEWER STRUCTURE SCHEDULE**

- 1 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 2 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 3 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
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INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 4 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
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- 5 18" SANITARY MANHOLE  
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- 6 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
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INLET: 18" DIA. 10' SPAN
- 7 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
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INLET: 18" DIA. 10' SPAN
- 8 18" SANITARY MANHOLE  
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INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 9 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 10 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 11 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 12 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 13 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN
- 14 18" SANITARY MANHOLE  
INLET: 18" DIA. 10' SPAN  
OUTLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN  
INLET: 18" DIA. 10' SPAN

**FRONT ENTRANCE**

SCALE: 1/4" = 30'-0"

A-2

DATE: 08-14-2016

PROJECT NO:

OWNER:

DATE:

PROJECT:

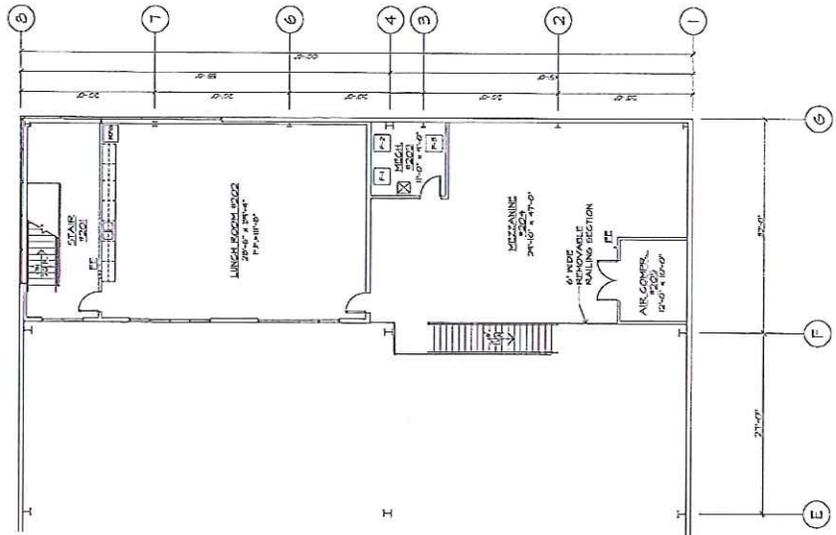
NEW BUILDING FOR  
BEST EQUIPMENT  
NORTH ROYALTON, OHIO 44193

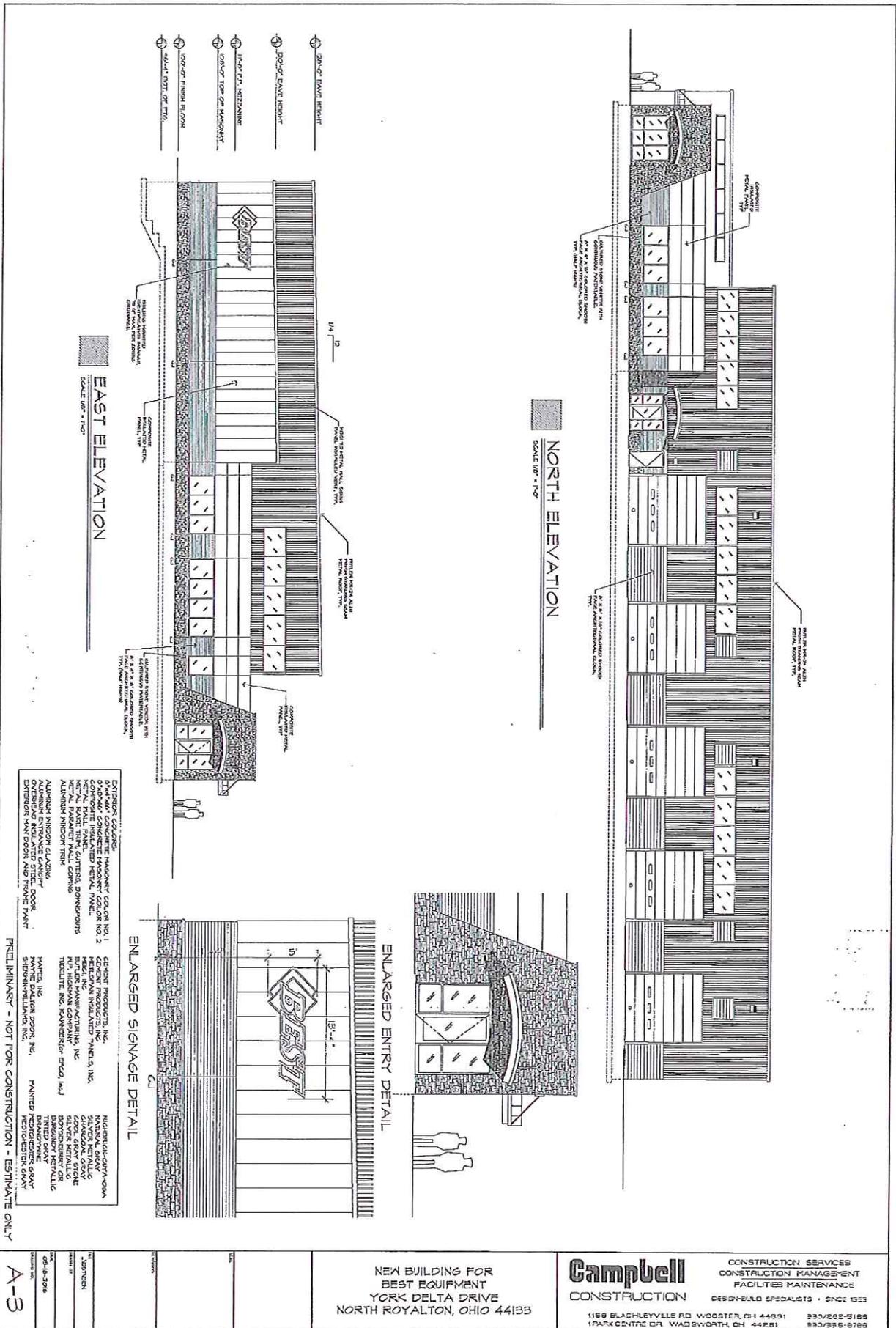
**Campbell**  
CONSTRUCTION

CONSTRUCTION SERVICES  
CONSTRUCTION MANAGEMENT  
FACILITIES MAINTENANCE  
DESIGN-BUILD SPECIALISTS SINCE 1933  
1159 BLACKLEYVILLE RD. WOOSTER, OH 44691  
330/262-9189  
330/338-8785

PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY

**MEZZANINE PLAN**  
SCALE: 1/8" = 1'-0"  
2000 0'





PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY

OWNER	GENERAL CONTRACTOR
ARCHITECT	MECHANICAL CONTRACTOR
STRUCTURAL ENGINEER	ELECTRICAL CONTRACTOR
PLUMBING CONTRACTOR	PAINT CONTRACTOR
GLASS CONTRACTOR	ROOFING CONTRACTOR
LANDSCAPE ARCHITECT	CONCRETE CONTRACTOR
INTERIOR DESIGNER	IRONWORK CONTRACTOR
MECHANICAL CONTRACTOR	STEEL ERECTOR
ELECTRICAL CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
PLUMBING CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
PAINT CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
ROOFING CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
CONCRETE CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
IRONWORK CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR
STEEL ERECTOR	GLASS AND ALUMINUM CONTRACTOR
GLASS AND ALUMINUM CONTRACTOR	GLASS AND ALUMINUM CONTRACTOR

**ENLARGED ENTRY DETAIL**

5'-0" x 13'-0"

13'-0" x 5'-0"

**EAST ELEVATION**

SCALE 1/8" = 1'-0"

**NORTH ELEVATION**

SCALE 1/8" = 1'-0"

**ENLARGED ENTRY DETAIL**

5'-0" x 13'-0"

13'-0" x 5'-0"

**LEGEND**

CONCRETE MASONRY

ALUMINUM WINDOW SIZES

OVERSIZED INSULATED STEEL DOOR

EXTENSION MAIN DOOR AND TRAVEL PAINT

**CONTRACTORS**

GENERAL CONTRACTOR: BURNS & MCDONNELL

MECHANICAL CONTRACTOR: BURNS & MCDONNELL

ELECTRICAL CONTRACTOR: BURNS & MCDONNELL

PLUMBING CONTRACTOR: BURNS & MCDONNELL

PAINT CONTRACTOR: BURNS & MCDONNELL

ROOFING CONTRACTOR: BURNS & MCDONNELL

CONCRETE CONTRACTOR: BURNS & MCDONNELL

IRONWORK CONTRACTOR: BURNS & MCDONNELL

STEEL ERECTOR: BURNS & MCDONNELL

GLASS AND ALUMINUM CONTRACTOR: BURNS & MCDONNELL

**NEW BUILDING FOR BEST EQUIPMENT**

YORK DELTA DRIVE

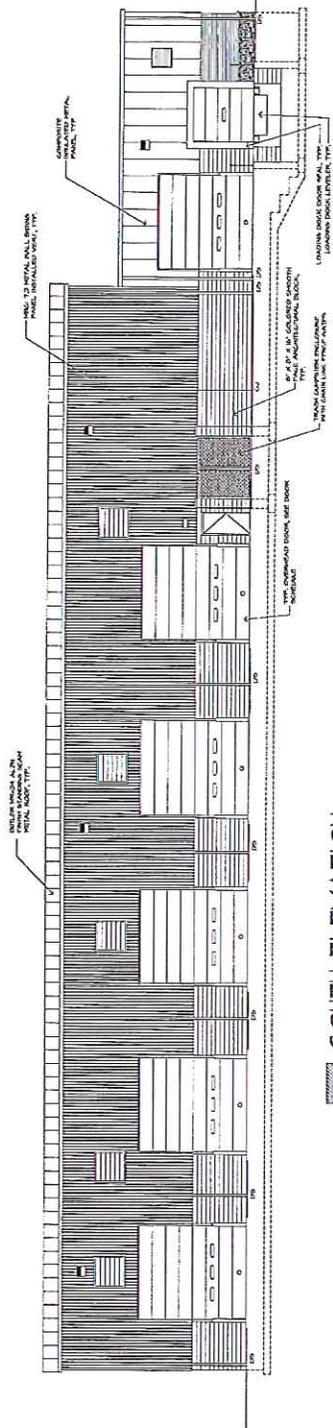
NORTH ROYALTON, OHIO 44133

**Campbell CONSTRUCTION**

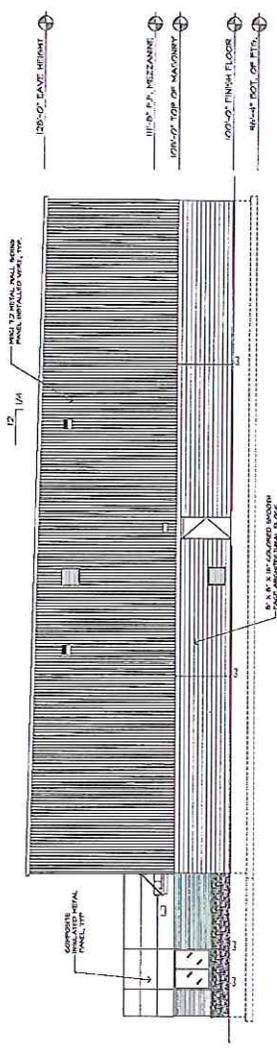
CONSTRUCTION SERVICES  
CONSTRUCTION MANAGEMENT  
FACILITIES MAINTENANCE

DESIGN-BUILD SPECIALISTS • SINCE 1953

1189 BLACKLEYVILLE RD WOOSTER, OH 44691 330/282-5168  
1PARCENTRE DR WADSWORTH, OH 44281 330/338-6788



**SOUTH ELEVATION**  
 SCALE 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION - ESTIMATE ONLY

**PROPOSED AGREEMENT** for Community Reinvestment Area Tax Incentives between the  
City of North Royaton located in the County of Cuyahoga and  
Matrix LLC.

1. a. Name of property owner, home or main office address, contact person, and telephone number (attach additional pages if multiple enterprise participants).

Matrix LLC  
Enterprise Name

Mike Dahlmann  
Contact Person

5550 Poindexter Dr  
Address

317-691-4984 (cell)  
Telephone Number

- b. Project site:

North Royalton Industrial Park

Jeff Stevenson  
Contact Person

PPN#'s  
483-05-003 & 483-06-023  
Address

330-351-1220 (cell)  
Telephone Number

2. a. Nature of commercial/industrial activity (manufacturing, warehousing, wholesale or retail stores, or other) to be conducted at the site.

Public works equipment distribution and service

- b. List primary 6 digit North American Industry Classification System (NAICS) # 423810

Business may list other relevant SIC numbers. \_\_\_\_\_

- c. If a consolidation, what are the components of the consolidation? (must itemize the location, assets, and employment positions to be transferred: \_\_\_\_\_

N/A

d. Form of business of enterprise (corporation, partnership, proprietorship, or other).

LLC

3. Name of principal owner(s) or officers of the business.

Mike and Maria Dahlmann

4. a. State the enterprise's current employment level at the proposed project site:

9

b. Will the project involve the relocation of employment positions or assets from one Ohio location to another? Yes \_\_\_ No x \_\_\_

c. If yes, state the locations from which employment positions or assets will be relocated and the location to where the employment positions or assets will be located:

N/A

d. State the enterprise's current employment level in Ohio (itemized for full and part-time and permanent and temporary employees):

13, all full time

e. State the enterprise's current employment level for each facility to be affected by the relocation of employment positions or assets:

9 employees will be relocated, 4 will remain at their current location.

f. What is the projected impact of the relocation, detailing the number and type of employees and/or assets to be relocated?

9 will be relocated to the new facility

5. Does the Property Owner owe:

a. Any delinquent taxes to the State of Ohio or a political subdivision of the state?  
Yes \_\_\_ No x

b. Any moneys to the State or a state agency for the administration or enforcement of any environmental laws of the State? Yes \_\_\_ No x

c. Any other moneys to the State, a state agency or a political subdivision of the State that are past due, whether the amounts owed are being contested in a court of law or not?  
Yes \_\_\_ No x

d. If yes to any of the above, please provide details of each instance including but not limited to the location, amounts and/or case identification numbers (add additional sheets).

6. Project Description: We are acquiring a 6 acre parcel on York Delta Drive and erecting a 21,000 SF office warehouse building. The new building will allow our business to offer an expanded array of services and products. We are currently in a leased facility.

7. Project will begin June, 20 16 and be completed January, 2017 provided a tax exemption is provided.

8. a. Estimate the number of new employees the property owner will cause to be created at the facility that is the project site (job creation projection must be itemized by the name of the employer, full and part-time and permanent and temporary):  
We estimate 3 permanent full time employees will be added

b. State the time frame of this projected hiring: 5 yrs.

c. State proposed schedule for hiring (itemize by full and part-time and permanent and temporary employees):  
Approx. 1 per year

9. a. Estimate the amount of annual payroll such new employees will add \$ 180,000.00 (new annual payroll must be itemized by full and part-time and permanent and temporary new employees).

b. Indicate separately the amount of existing annual payroll relating to any job retention claim resulting from the project: \$ 574,000.00

10. An estimate of the amount to be invested by the enterprise to establish, expand, renovate or occupy a facility:

A.	Acquisition of Buildings:	\$	<u>N/A</u>
B.	Additions/New Construction:	\$	<u>1.7M</u>
C.	Improvements to existing buildings:	\$	<u>N/A</u>
D.	Machinery & Equipment:	\$	<u>50,000</u>
E.	Furniture & Fixtures:	\$	<u>30,000</u>
F.	Inventory:	\$	<u>50,000</u>
	<b>Total New Project Investment:</b>	\$	<u>1,830,000</u>

11. a. Business requests the following tax exemption incentives: 49 % for 15 years covering real \_\_\_\_\_ as described above. Be specific as to the rate, and term.

b. Business's reasons for requesting tax incentives (be quantitatively specific as possible)  
To lower the development costs of this site and to offset the property tax assessment.  
The incentive will allow the company to invest in equipment, hire staff, and grow.

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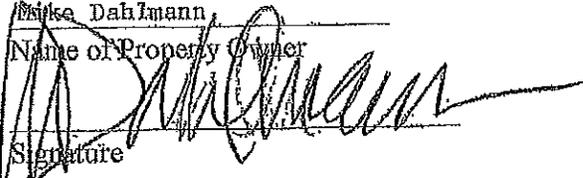
Submission of this application expressly authorizes the City of North Royalton to contact the Ohio Environmental Protection Agency to confirm statements contained within this application including item # 5 and to review applicable confidential records. As part of this application, the property owner may also be required to directly request from the Ohio Department of Taxation, or complete a waiver form allowing the Department of Taxation to release specific tax records to the local jurisdiction considering the request.

The Applicant agrees to supply additional information upon request.

The Applicant affirmatively covenants that the information contained in and submitted with this application is complete and correct and is aware of the ORC Sections 9.66(C) (1) and 2921.13(D) (1) penalties for falsification which could result in the forfeiture of all current and future economic development assistance benefits as well as a fine of not more than \$1,000 and/or a term of imprisonment of not more than six months.

Mike Dahlmann  
Name of Property Owner

May 19, 2016  
Date

  
Signature

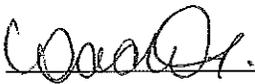
Mike Dahlmann, Owner/President  
Typed Name and Title

\* A copy of this proposal must be forwarded by the local governments to the affected Board of Education along with notice of the meeting date on which the local government will review the proposal. Notice must be given a minimum of fourteen (14) days prior to the scheduled meeting to permit the Board of Education to appear and/or comment before the legislative authorities considering the request.

\*\* Attach to Final Community Reinvestment Area Agreement as Exhibit A

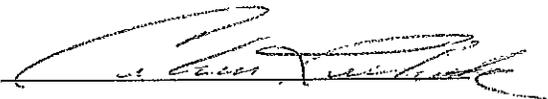
Please note that copies of this proposal must be included in the finalized Community Reinvestment Area Agreement and be forwarded to the Ohio Department of Taxation and the Ohio Development Services Agency within fifteen (15) days of final approval.

On May 23, 2016 on behalf of Greg Gurka, Superintendent, North Royalton School District I received a letter this date from the City of North Royalton.

\_\_\_\_\_

Print Name Sadie Fellure

On May 23, 2016 on behalf of Dr. Celena Roebuck, Superintendent, Cuyahoga Joint Vocational School District I received a letter this date from the City of North Royalton.

\_\_\_\_\_

Print Name Celena Roebuck

ORDINANCE NO. 16-94

INTRODUCED BY: Nickell, Kasaris, Antoskiewicz  
Co-Sponsor: Langshaw

AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF THE CITY OF NORTH ROYALTON, PART 14 BUILDING AND HOUSING CODE, BY CREATING A NEW CHAPTER 1485 RESIDENTIAL RENTAL FOR ONE, TWO AND THREE FAMILY DWELLING UNITS, AND AMENDING CHAPTER 214 GENERAL FEE SCHEDULE, SECTION 214.08 FEES IN THE BUILDING AND HOUSING CODE, AND DECLARING AN EMERGENCY

WHEREAS: It has been determined to be necessary to establish minimum standards necessary to make all residential dwelling structures safe, sanitary, free from fire and health hazards, fit for human habitation and beneficial to the public welfare and to establish minimum standards governing the maintenance of residential rental dwelling structures in such condition as will not constitute a blighting or deteriorating influence on the neighborhood and the community; and

WHEREAS: It is also necessary to establish responsibilities for owners and occupants of residential rental dwelling structures, to authorize the inspection of residential rental dwelling structures, to establish enforcement procedures, to authorize the vacation or condemnation of residential rental dwelling structures unsafe or unfit for human habitation and to fix penalties for violations; and

WHEREAS: It is therefore necessary to amend the Codified Ordinances of the City of North Royalton, Part 14 Building and Housing Code, by creating a new Chapter 1485 Residential Rental for One, Two and Three Family Dwelling Units, and amending Chapter 214 General Fee Schedule, Section 214.08 Fees in the Building and Housing Code; and

WHEREAS: Council desires to provide for these amendments.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA AND STATE OF OHIO, THAT:

Section 1. Part 14 Building and Housing Code of the Codified Ordinances of the City of North Royalton is hereby amended by creating a new Chapter 1485 Residential Rental for One, Two and Three Family Dwelling Units which is attached herein as Exhibit A and incorporated as if fully rewritten.

Section 2. Part 2 Administration Code, Chapter 214 General Fee Schedule, Section 214.08 Fees in the Building and Housing Code of the Codified Ordinances of the City of North Royalton is hereby amended by creating a new paragraph (n) which shall read as follows:

***(n) Certificate of Rental Registration: See Section 1485.03***

Section 3. Part 14 Building and Housing Code and Chapter 214 General Fee Schedule of the Codified Ordinances of the City of North Royalton are hereby amended as provided for herein and all other provisions of Part 14 and Chapter 214 shall remain in full force and effect.

Section 4. This Ordinance shall supersede all previously adopted Ordinances in direct conflict herewith.

Section 5. It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements.

Section 6. This Ordinance is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of the city, and for the further reason that it is immediately necessary to establish minimum standards necessary to make all residential rental dwelling structures safe, sanitary, free from fire and health hazards.



CHAPTER 1485 RESIDENTIAL RENTAL FOR ONE, TWO AND THREE FAMILY DWELLINGS  
UNITS

1485.01 GENERAL PURPOSES.

The general purposes of this Code are to establish minimum standards necessary to make all residential rental dwelling structures safe, sanitary, free from fire and health hazards, fit for human habitation and beneficial to the public welfare; to establish minimum standards governing the maintenance of residential rental dwelling structures in such condition as will not constitute a blighting or deteriorating influence on the neighborhood and the community; to fix responsibilities for owners and occupants of residential rental dwelling structures; to authorize the inspection of residential rental dwelling structures; to establish enforcement procedures; to authorize the vacation or condemnation of residential rental dwelling structures unsafe or unfit for human habitation; and to fix penalties for violations.

1485.02 DEFINITIONS.

(a) As used in this Chapter, the term “residential rental dwelling” means any residential rental unit, including but not limited to a single-family dwelling or a multiple dwelling unit.

(b) As used in this Chapter, the term “multiple dwelling unit” means a building containing the following:

- (1) Three (3) residential dwelling units; or
- (2) Two (2) residential dwelling units; or
- (3) One (1) or more dwelling units if the building also contains a use other than a dwelling use or an area designed for such other use.

(c) The words “multiple dwelling” and “apartment house” are synonymous.

(d) As used in this Chapter, “residential rental unit” means any dwelling unit in a single or multiple residential dwelling, whether the dwelling unit is rented, occupied or vacant which either:

- (1) Consideration in the form of money or other valuable consideration is being paid for occupying such units; or
- (2) A person other than the fee simple owner of the property or the owner's family is occupying such unit, whether or not such person is paying consideration, and the owner is not living in the rental unit.

1485.03 CERTIFICATE OF RENTAL REGISTRATION.

No person shall occupy, and no owner or resident agent shall permit a person to occupy, a residential rental unit, unless the Building Commissioner has issued a Certificate of Rental Registration for such dwelling structure which certificate has not expired, been revoked or otherwise become null and void.

(a) Every owner, operator or resident agent of a single-family dwelling that is a rental unit, as defined in this section, shall obtain a Certificate of Rental Registration no later than December 31 of the year immediately prior to the year for which the Certificate shall be applicable, or if such dwelling becomes a rental unit at any time during a calendar year after January 1, then within thirty days after the dwelling is occupied as a rental unit. Every owner, operator or resident agent of a single-family dwelling that has been a rental unit, at any time within the previous twelve months, shall obtain a Certificate of Rental Registration or shall submit an Exemption Form, no later than December 31 of the year immediately prior to the year for which the Certificate or Exemption shall be applicable. Once an Exemption Form is submitted and approved, no further submittals for a Certificate or Exemption shall be required unless the dwelling becomes a rental unit.

(b) Every owner, operator or resident agent of a multiple dwelling unit shall annually obtain a Certificate of Rental Registration if one or more dwelling units in the dwelling is a rental unit, or shall annually submit an Exemption Form if no dwelling units in the dwelling are rental units, no later than December 31 of the year immediately prior to the year for which the Certificate or Exemption is applicable. If one or more units of a multiple dwelling unit becomes a rental unit at any time during a calendar year after January 1, then within sixty (60) days after the unit shall become a rental unit, the owner, operator or resident agent shall submit an updated Application for a Certificate of Rental Registration, or obtain a Certificate of Rental Registration for a unit for which an Exemption Form had been or should have been submitted.

(c) Application for a Certificate of Rental Registration or submission of an Exemption Form shall be on the form or forms supplied by the Building Commissioner, and shall include such information as the Building Commissioner determines is necessary to determine compliance with applicable laws, ordinances, rules and regulations for the existing use or occupancy or the intended use or occupancy. An application is considered submitted and complete only when all information required on the form is accurately, legibly and fully provided and when the fee required in this chapter is paid. Such information shall include, but need not be limited to, the following, as applicable:

- (1) The name, address and telephone number of the owner(s) of the property;
- (2) The name, address and telephone number of the resident agent or manager of the property if one;
- (3) The address of the property and the number of rental units contained within the property;
- (4) The current name, business address and telephone numbers, of the person(s) occupying the rental unit, and the address or other identification of the rental unit which they occupy;

(5) Whenever an address is required herein, a post office box number may not be provided as the sole address;

(6) Verified acknowledgement the rental unit has a working smoke detector and carbon monoxide detector and is further in compliance with all city ordinances, state and federal laws, including but not limited to the Fair Housing Act.

(d) The Building Commissioner shall issue a Certificate of Rental Registration for a rental unit or units if found to be in compliance or substantial compliance with the provisions of this Chapter and all other laws, ordinances, rules and regulations applicable thereto. The Certificate of Rental Registration shall not be valid beyond December 31 of the calendar year in which it was issued.

(e) The Building Commissioner may deny an application for a Certificate of Rental Registration or revoke a Certificate of Rental Registration if any false statement is made by the applicant in connection with the issuance of such Certificate, if the owner, agent or person in charge of a structure fails to comply with any applicable provisions of the Fire, Health, Zoning, or Building Codes.

(f) Every application for an annual Certificate of Rental Registration submitted on or before February 1 of the year for which the Certificate of Rental Registration is required, or within thirty days after the dwelling unit becomes a rental unit, shall be accompanied by a nonrefundable fee as follows:

- (1) For a single-family rental: fifty dollars (\$50.00);
- (2) For a condominium rental: fifty dollars (\$50.00);
- (3) For a two-family rental: seventy-five dollars (\$75.00) per structure;
- (4) For a three-family rental: one hundred dollars (\$100.00) per structure;

(g) The fee for an application for a Certificate of Rental Registration submitted after March 1 of the year for which the application is made, or more than thirty days after a unit becomes a rental unit, shall be as follows:

- (1) For a single-family rental: one hundred twenty-five dollars (\$125.00);
- (2) For a condominium rental: one hundred dollars (\$100.00) per unit;
- (3) For a two-family or three-family rental: one hundred twenty-five dollars (\$125.00) per

rental unit.

(h) There shall be no fee for submission of an Exemption Form if submitted by February 1 of the year for which the Exemption is applicable. The fee for submission of an Exemption Form submitted after February 1 shall be fifty dollars (\$50.00) per dwelling structure.

(i) If no application for a Certificate of Rental Registration is submitted when required by this Chapter, the Building Commissioner shall charge the owner or operator the fee set forth in this Section.

(j) The City shall reinstate a Certificate of Rental Registration that has been revoked when the owner, operator or agent has done all of the following:

- (1) Submitted a new application for a Certificate and paid the appropriate application fee;
- (2) Paid the reinstatement fee, which shall be fifty dollars (\$50.00), in addition to the appropriate application fee; and

(3) Successfully completed any procedure required by the Building Commissioner, under the rules and regulations established as permitted in this Chapter, by which the owner has demonstrated that the property has been brought into substantial compliance with the City Codes that were the basis of the revocation.

#### 1485.04 INSPECTION OF RENTAL DWELLINGS.

(a) The Building Commissioner, Safety Director or designee is authorized to conduct an inspection of single-family rentals and multiple dwelling rental units as determined by the Building Commissioner.

(b) Nothing herein shall prevent, or be construed as preventing, more frequent inspections upon complaint or upon reasonable suspicion by the Building Commissioner or Safety Director that a violation of the City's Codes exists upon the property.

(c) It shall be the duty of the owner or agent, upon consent, to cause the structure be open for inspection at the time arranged and/or noticed, which shall be during regular business hours. If the owner, agent, or occupant/tenant refuses to consent to an inspection of the subject property or if consent is otherwise unobtainable, the Building Commissioner or Safety Director or designee shall not make such inspection without first obtaining a search warrant, based upon probable cause, except in the case of an existing emergency in which case entry may be made at any time and no search warrant is necessary.

#### 1485.05 CERTIFICATE OF RENTAL MULTIPLE-DWELLING INSPECTION.

Upon inspection of the residential rental dwelling unit, the Building Commissioner shall issue a Residential Rental Inspection report. Except in the case of immediate danger to the public health or safety, such report shall contain the order for the correction of any code violations noted on the report, which shall be corrected by the owner of the property within ninety days of the issuance of the report, unless for good cause shown, the Building Commissioner has extended the time for such completion.

1485.06 FORMS, RULES AND REGULATIONS; APPEALS.

The Building Commissioner is authorized and directed to promulgate such forms, rules and regulations as are necessary for the efficient administration of this chapter. Rights of appeal from the decision of the Building Commissioner are provided for in Chapter 1264, except where the decision appealed involves a violation or interpretation of the Ohio Building Code, in which instance the rights of appeal shall be as provided under the laws of the State of Ohio.

1485.07 COMPATIBILITY WITH STATE LAW AND REGULATIONS; SEVERABILITY.

(a) Nothing herein is intended to conflict with any state law or regulation pertaining to multi-family or apartment buildings, including but not limited to provisions of the Ohio Building Code.

(b) If any provision of this chapter is held to be unconstitutional or otherwise invalid by any court of competent jurisdiction, the remaining provisions of the chapter shall not be invalidated.

1485.99 PENALTY.

Whoever fails to comply with the registration provisions of this chapter is guilty of a misdemeanor of the first degree and shall be punished as provided in Section 698.02.

ORDINANCE NO. 16-95

INTRODUCED BY: Mayor Stefanik  
Co-Sponsor: Langshaw

AN ORDINANCE AUTHORIZING THE MAYOR TO REQUEST ADVANCE CREDITS FROM THE NORTH COAST REGIONAL COUNCIL OF PARK DISTRICTS FOR THE CITY OF NORTH ROYALTON FOR THE CREATION/RESTORATION OF FORESTED WETLANDS IMPACTED AS PART OF THE PROPOSED CEDAR ESTATES DETENTION BASIN PROJECT, AND DECLARING AN EMERGENCY

WHEREAS: The City of North Royalton recognizes the need to mitigate the impacts to natural resources proposed as part of the creation of the proposed Cedar Estates Detention Basin project; and

WHEREAS: The proposed impacts to forested wetlands to be authorized by the Ohio EPA (and valid so long as the Section 404 permit to be issued by the U.S. Army Corps of Engineers remains in effect) are proposed to be mitigated through an in-lieu fee program made available by the North Coast Regional Council of Park Districts; and

WHEREAS: It is therefore necessary to authorize the Mayor to request advance credits from the North Coast Regional Council of Park Districts for the City of North Royalton for the creation/restoration of forested wetlands impacted as part of the proposed Cedar Estates Detention Basin project.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF NORTH ROYALTON, COUNTY OF CUYAHOGA AND STATE OF OHIO, THAT:

Section 1. The Mayor is hereby authorized to request advance credits from the North Coast Regional Council of Park Districts for the City of North Royalton for the creation/restoration of forested wetlands impacted as part of the proposed Cedar Estates Detention Basin project pursuant to terms and conditions approved by the Director of Law and substantially similar to a copy of which is attached hereto as Exhibit A and incorporated as if fully rewritten.

Section 2. It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council and that all deliberations of this Council and any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements.

Section 3. This Ordinance is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of the city, and for the further reason that it is immediately necessary to authorize the Mayor to request advance credits from the North Coast Regional Council of Park Districts for the City of North Royalton for the creation/restoration of forested wetlands impacted as part of the proposed Cedar Estates Detention Basin project to provide for an effective collaboration in carrying out Clean Water Act responsibilities, especially related to conditions noted in the forthcoming authorized Section 401 Water Quality Certification from the Ohio EPA.

THEREFORE, provided this Ordinance receives the affirmative vote of two-thirds of all members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, from and after the earliest period allowed by law.

\_\_\_\_\_  
PRESIDENT OF COUNCIL

APPROVED: \_\_\_\_\_  
MAYOR

DATE PASSED: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
DIRECTOR OF LEGISLATIVE SERVICES

YEAS:

NAYS:

NCRCPD In-Lieu Fee Program  
Advance Credit Request

<b>Applicant Information:</b>	
Name	City of North Royalton
Address	14600 State Road North Royalton, OH 44133
Telephone	(440) 582-3001
Email	mschmitzer@northroyalton.org
<b>Consultant/Agent Information:</b>	
Name	Chagrin Valley Engineering, Ltd
Address	22999 Forbes Rd Suite B Cleveland, OH 44146
Telephone	(440) 439-1999
Email	vannort@cvelimited.com
<b>Project Information:</b>	
Project Name or Other Identifier	<b>Cedar Estates Regional Detention Basin</b>
Street or Other Descriptive Location, e.g. County, Township	<b>Cedarwood Drive</b>
If known, Project Coordinates	<b>41 ° 20' 51.12" N -81° 45' 45.08" W</b>
USGS 8-digit HUC Code	<b>04110001</b>
<b>Project Permit Information:</b> Please note all permit applications that have been or will be submitted and provide applicable additional details requested.	
Level 1 Isolated Wetland Permit	Date: SWIMs#: Ohio EPA Reviewer: Status of Completeness Review:
Level 2 or 3 Isolated Wetland Permit	Date: SWIMs#: Ohio EPA Reviewer: Status of Completeness Review:
Nationwide Permit	Date: NW Permit #: ACOE Application #: ACOE Project Manager: Status of PCN Completeness Review:
404 Permit	Date: ACOE Application #: 2014-00144 ACOE Project Manager: Susan Baker Date of Public Notice: 7/13/15
401 Water Quality Certification	Date: SWIMs#: 144492 Ohio EPA Reviewer: Joe Loucek Status of Completeness Review: Complete Date of Public Notice: 2/6/16

Other				
<b>Wetland Impact Information:</b>				
Forested or Nonforested (AC)	Jurisdictional or Isolated	ORAM Score	Wetland category	Mitigation Ratio
0.86	Jurisdictional	54.5	2	2.5:1
0.01	Jurisdictional	48	2	2.5:1
0.02	Jurisdictional	44	2	2.5:1
Anticipated Number of Credits: (Sum impacts in acres, multiply by mitigation ratio provided by regulatory agency.) Round up to nearest whole tenth.			Forested: 2.2  Nonforested:	
<b>Stream Impact Information:</b>				
Impact Length (LF)	Stream Flow (Ephemeral, Intermittent, Perennial)	Designated use and/or existing use	Stream Group (1, 2 or 3) from Table 11-1, Ohio IRT Stream Guidelines	Debit Ratio from Table 11-1, Ohio IRT Stream Guidelines
N/A				
Anticipated Number of Credits: (Sum impacts in linear feet, multiply by debit ratio provided by regulatory agency.) Round up to nearest whole ten credits.				
<b>Request Verification:</b>				
I certify that the information contained in this Advance Credit Request is true, complete and accurate to the best of my knowledge and belief. I understand that if advance credits are reserved for my proposed project impacts and are not purchased within the reservation period, the advance credits will no longer be reserved for me.				

Signature of applicant or authorized agent

Date

Email your completed form to Neil Munger, Secretary, NCRCPD (419) 353-1897

[nmunger@wcparks.org](mailto:nmunger@wcparks.org)

October 2015